

LANCASTER COUNTY ZONING/BUILDING PERMIT APPLICATION

* OWNER MAILING & 911 ADDRESS

* SITE ADDRESS

* REQUIRED FIELDS

* ZIP: _____ * PHONE #: _____ * ZIP: _____ * PHONE #: _____

UTILITY COMPANY: _____

LOT #: _____ BLOCK #: _____ SECTION: _____ BUILDING #: _____

SETBACKS FRONT: _____ BACK: _____ CENTER LINE: _____ FRONTAGE: _____

RIGHT: _____ LEFT: _____ RIGHT OF WAY: _____

WATER: _____ SEPTIC: _____

ADDITION: _____ ALTERATION: _____ NEW CONSTRUCTION: _____ TEMP. STRUCTURE _____

* NATURE OF WORK: _____

* HEALTH DEPARTMENT #: _____

GENERAL INFORMATION:

BSMT/CRAWL _____ FOUNDATION _____ #STORIES _____ WALL TYPE _____

ROOF TYPE _____ #BEDROOMS _____ #BATH _____ #HALFBATHS _____

HEAT TYPE _____ FUEL TYPE _____ #FIREPLACES _____ #FLUES _____

A/C Y/N _____ GARAGE SF _____ ATTACHED Y/N _____ ELECT SERVICE _____

STRUCTURE W/L _____ DECK W/L _____ OTHER W/L _____

FLOOD ZONE _____ ELEVATION CERTIFICATE Y/N _____ SET BACK VERIFICATION Y/N _____

USE GROUP _____ FED. USE CODE _____ CONST. TYPE _____ ZONING CODE _____ SUB.DIV. _____

* NAME OF BUILDER: _____ JOB COST: _____

NAME OF ELECTRICIAN: _____ JOB COST: _____

NAME OF HVAC MECH.: _____ JOB COST: _____

NAME OF PLUMBER: _____ JOB COST: _____

MECHANICS LEIN AGENT: _____

* DIRECTIONS TO JOB SITE WITH 911 ROAD NAMES: _____

OFFICE USE ONLY

FEES: ZONING _____
BUILDING _____
ELECTRIC _____
HVAC _____
PLUMBING _____
MAN. HOME _____
EROSION _____
SITE PLAN _____

TOTAL : _____

APPLICANT SIGNATURE: _____

A WORD OF WARNING

Property owners are allowed to obtain any permit but by doing so are stating that they will do the work themselves and are accept all responsibility for the job. In effect, the homeowner, becomes the General Contractor. It becomes their responsibility to make sure that anyone they hire to do work is licensed, has liability and workers compensation insurance and they accept other legal obligations.



LANCASTER COUNTY, VIRGINIA

Property Owner's Affidavit

I, _____, of _____
Name of Affiant *Street Address*

City, State Zip

Affirm that I am the owner of a certain tract or parcel of land located at _____

_____, Lancaster County, Virginia, and that I am familiar with the prerequisites of §54.1-111 of the Code of Virginia, 1950, as amended, and I am not subject to licensure as a contractor or subcontractor.

I am also fully aware that any construction permit (building, electrical, plumbing or mechanical) issued to me pursuant to the application to which this affidavit is attached is valid only if I, personally, perform the work for which the permit(s) is (are) issued or if I allow the said work to be performed by a contractor duly licensed by the Commonwealth of Virginia.

If I allow the said work to be performed by a contractor duly licenses by the Commonwealth of Virginia, I will provide identifying information regarding the contractor performing the work to the Lancaster County Building Department prior to commencement of the work by that contractor and will continue to provide updated information to the Lancaster County Building Department if this information changes.

I understand that allowing a person, other than myself or a duly licenses contractor, to perform the work covered by this permit(s) voids the permit(s) and subjects me as well as the unlicensed person to criminal charges for failing to obtain a permit, permitting an unlicensed contractor to perform contracting work, obtaining a permit under false pretenses or other such offenses as covered by Virginia law.

Signature of Affiant

Date _____ Witness Signature _____

Witness Name Printed _____

The Lancaster County Building Department will be pleased to assist you in any way to determine if your contractor is properly licensed in the Commonwealth of Virginia – Please contact 804-462-5220 for assistance.



COUNTY OF LANCASTER

FOUNDED 1851 IN VIRGINIA
LANCASTER COURTHOUSE
8311 MARY BALL ROAD
LANCASTER, VIRGINIA 22503

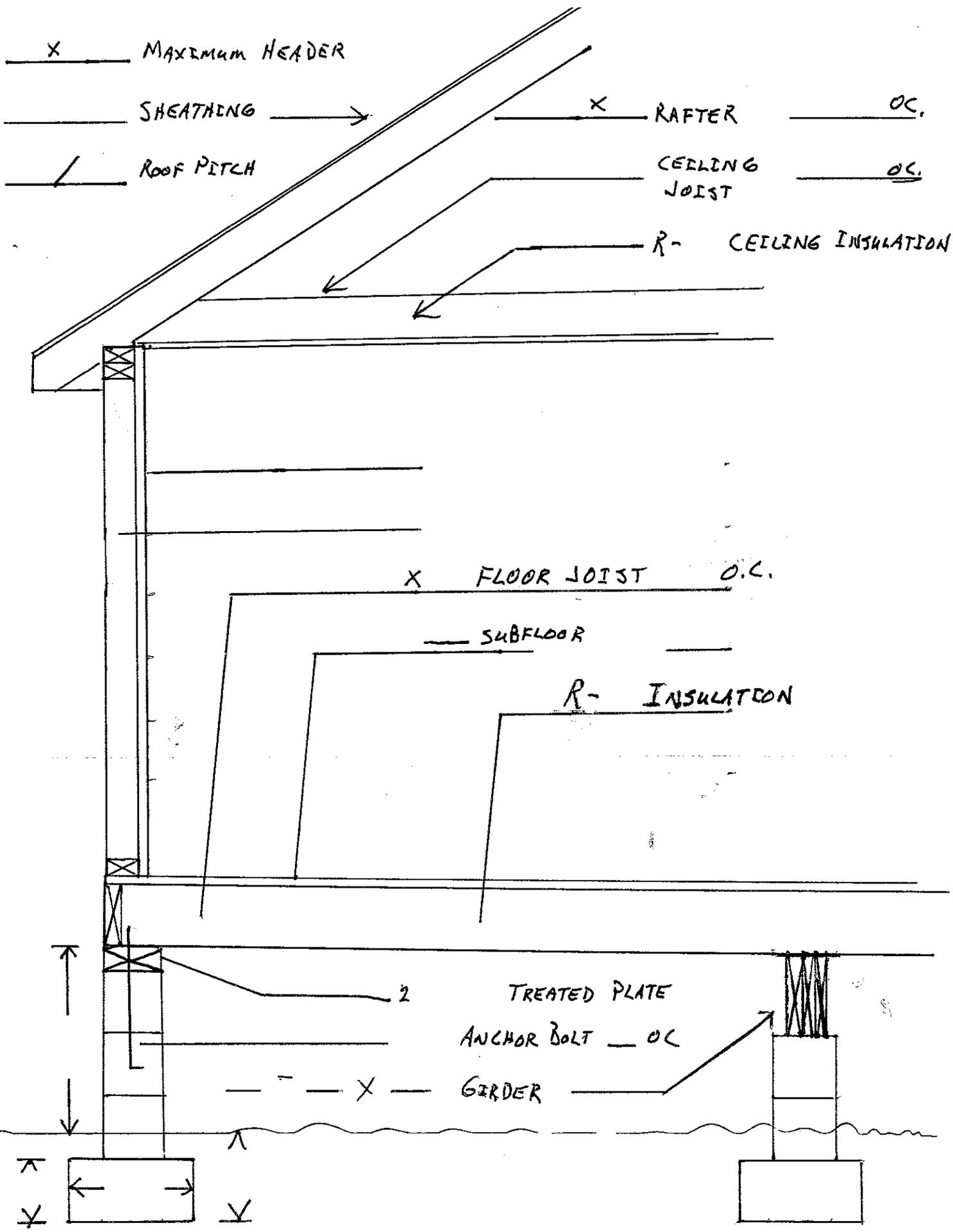
804-462-5129
804-462-0031 (FAX)
www.lancova.com

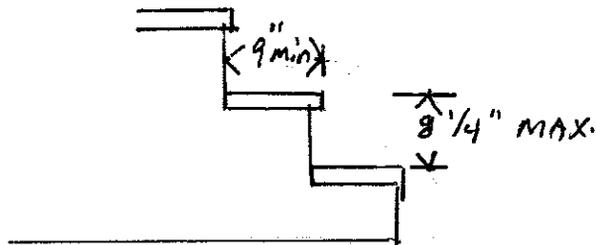
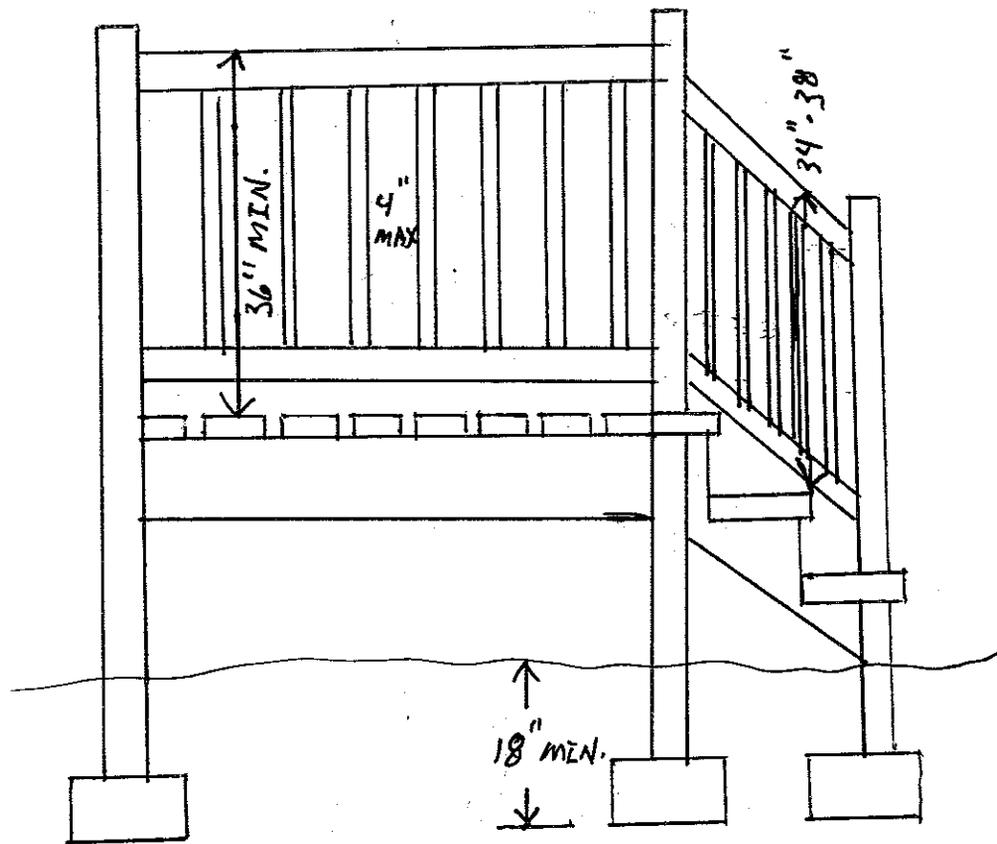
PLEASE SUPPLY THE FOLLOWING ITEMS WITH YOUR APPLICATION:

- _____ 1. Copy of Approved Septic Construction Permit from the Health Department
- _____ 2. Copy of Plat Showing Placement of New Structure in Relation to Property Lines and Any Existing Structures
- _____ 3. Two Sets of Plans to Scale, No Less than 1/8"=1'
- _____ 4. Bay Act Site Plan (if applicable)
- _____ 5. Certified Land Disturber Certification Information for Erosion & Sediment Control
- _____ 6. Flood Elevation Certificate (if applicable)
- _____ 7. Contractor &/or Tradesmen Licensing Information
- _____ 8. Copy of VMRC permit
- _____ 9. Copy of Sales Contract for Manufactured Home and Copy of Deed Showing Land in Your Name. Also, Completed Mobile Home Registration Form and Criteria Agreement for "By Right" Placement of Mobile Home
- _____ 10. Other

NOTE: Please make certain that the TAX MAP and PARCEL NUMBERS appear on your application. If property has been transferred into your name within the past twelve months, please supply the previous owner's name.

Make checks payable to LANCASTER COUNTY TREASURER.

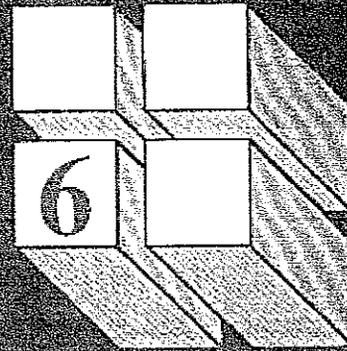




Handrails:

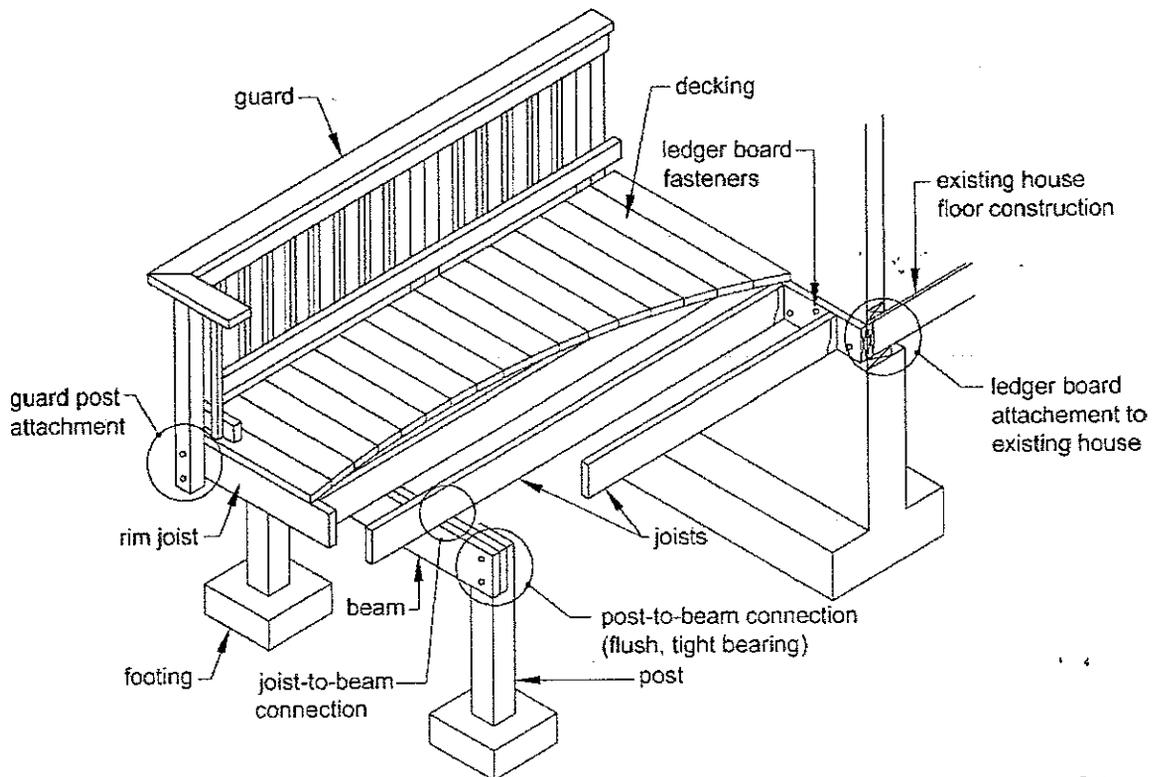
- 1) Height: Shall be not less than 34" and not more than 38" in height
- 2) Continuity: Shall be continuous from a point directly above the top riser to a point directly above the lowest riser. Handrail ends shall returned or terminate into a newel post. Handrails next to a wall shall have a space of not less than 1 1/2" between the handrail and the wall.
- 3) Grip:
 - a) Handrails with a circular cross section shall have a cross section of at least 1 1/4" and not greater than 2". If the handrail is not circular, the perimeter dimension shall be no less than 4" or greater than 6 1/4" with a maximum cross section of 2 1/4".
 - b) Handrails with a perimeter greater than 6 1/4" shall have graspable finger area on both sides of the profile, shall begin within 3/4" of the tallest point of the profile and have a depth of at least 5/16" within 7/8" below the widest portion of the profile. The minimum width of the handrail above shall be 1 1/4" to a maximum of 2 3/4".
- 4) Treads and Risers: Minimum Tread Depth is 9". Maximum Riser Height is 8 1/4" and must be closed. Open Risers are not permitted.
- 5) Guardrail: Shall be along open-sided walking surfaces, including stairs, ramps, landings, etc. located more than 30" measured vertically from the floor or grade below at any point within 36" horizontally. Insect screening is NOT considered as a guard. Guardrails shall not be less than 36" above the walking surface. Openings shall not allow the passage of a 4" sphere.

Design for Code Acceptance



Prescriptive Residential Wood Deck Construction Guide

Based on the *2009 International Residential Code*



This document is subject to updates and revisions. To ensure that you always have the latest version of the document, follow this link to download a free copy of the most current *Prescriptive Residential Wood Deck Construction Guide*: <http://www.awc.org/Publications/DCA/DCA6/DCA6-09.pdf>.

For information about copyright permission and hyperlinks, follow this link:
<http://www.awc.org/CopyrightDisclaimer.html>.

Additional questions: <http://www.awc.org/HelpOutreach/helpdesk/index.html> or 202-463-4713.

Two sets of Plans to scale, not less than $1/8'' = 1'$ on 11'' x 17'' paper and should include:

- 1) Footer Detail
- 2) Foundation size
- 3) Floor Joist size and Span
- 4) Wall Detail – to include location and type of wall bracing
- 5) Dimensions and Use of rooms
- 6) Roof Detail- Rafter & Ceiling Joist size and Span or truss layout and load datum sheets

ORDER OF INSPECTIONS

- 1) Footing
- 2) Foundation/ Projection/Floor Joist
- 3) Framing. Rough in Plumbing, Mechanical and Electrical can be done at the same time as this.
- 4) Housewrap
- 5) Insulation/Interior Framing. All rough in inspections must be completed prior to this inspection.
- 6) Drywall
- 7) Final. At the approved completion of this inspection, in the case of additions and new occupied structures, a Certificate of Occupancy, CO, will be issued.

BUILDING INSPECTIONS

- 1) Footing; 18" deep, min. 16" wide, min. 8" concrete for one story. Footer must not contain loose material, water or tree roots. In special circumstances, the footer design may have to be sealed by an engineer. **If rebar is placed in the footer, then the electric grounding conductor must be electrically bonded to the rebar. (Uffer connection)**
- 2) Foundation: **IN FLOOD ZONES, AN ELEVATION CERTIFICATE OR VERIFICATION THAT THE TOP OF THE FIRST FINISHED FLOOR IS A MINIMUM OF 18" ABOVE THE BASE FLOOD ELEVATION MUST BE RECEIVED PRIOR TO SCHEDULING THE FOUNDATION/FLOOR JOIST INSPECTION.**
 - a. Foundation Vents, 1 sq. ft. / 150 sq.ft. of crawl space area. One vent within 3' of each corner.
 - b. Flood Vents, 1 sq. in./ 1 sq. ft. of crawl space area. Min. two openings on opposite sides and the opening 1' or less from grade.
 - c. Foundation walls below grade must be water proofed and inspected prior to backfilling.
 - d. Anchor Bolts, 1' from each corner then 6' o.c. and within 1' of each side of a butt joint in sill plate.
***** Anchor Straps must be installed per the manufacturer's installation instructions. These instructions must be provided on site at the time of inspection*****
 - e. Termite Shield, UV resistant vinyl or plastic. **DO NOT USE ALUMINUM, COIL STOCK.**

*****THE CHEMICALS NOW USED IN TREATED LUMBER HAVE BEEN FOUND TO BE EXTREMELY CORROSIVE TO FOUNDATION STRAPS, JOIST HANGERS, ALUMINUM FLASHING/TERMITE SHIELD AND FASTENERS. IT IS RECOMMENDED TO USE ONLY INDUSTRY APPROVED STRAPS, HANGERS AND FASTENERS*****

 - f. Block size. **Minimum 6" block with 4" brick face. ***Anchor bolts must be in a solidly grouted cell of the block. *****
 - g. Access door, min. 18"x 24". **IF THE HVAC UNIT IS LOCATED IN CRAWL SPACE, THE ACCESS DOOR MUST BE LARGE ENOUGH TO REMOVE THE UNIT THROUGH IT WITHOUT ENLARGING THE HOLE.**
 - h. Floor joist size, span, spacing and blocking. **DO NOT INSTALL SUBFLOOR.**
- 3) Framing: sub floor installed, walls and roof completely framed, sheathing and bracing completed. Penetrations sealed and Fire blocking installed if needed. Hurricane clips installed on trusses.
- 4) House wrap: Installed on exterior of house with "button nails"/ "button staples", all seams sealed with approved tape and all windows and doors taped sealed.

5) Insulation/Interior Framing: R 19 Floor, R 13 Walls, R 38 Ceiling or R 30 in a sloped ceiling. In sloped ceilings either the rafters will need to be sized larger or they may need to be furred down so that the insulation can be installed without compressing it. Windows installed. Windows in a hazardous location, in a tub enclosure, in a stairway, less than 18" from the floor surface and within 3' of the swing of a door must be safety glazed. All seams between Plates, Jack Studs, King Studs, Headers, and Corners must be sealed (caulked). It is strongly recommended that insulation no longer be used to fill the gaps around windows and doors, but to use a minimum expanding foam sealer.

6) Drywall: Most conform to the fastening requirements of the Residential Code and must be performed prior to mudding and taping.

7) Final: All prior inspections, life, safety and health issues have been addressed. Particular attention to egress requirements and smoke detectors, CO detectors. **Sewage operation permit, Approved water pot ability certification, Final Flood Elevation Certificate and Zoning requirements must be completed before the Final Inspection can be scheduled.**

ELECTRICAL INSPECTIONS

1) Temporary service requires properly mounted meter base and panel, one 20-amp GFI protected circuit and one ground rod.

2) Rough In inspections: all branch circuits run, box fill checked, cables properly supported, panel box bonded, grounds and neutrals separated.

3) Service: Cables run to panel box from meter base and grounding conductor. If a rebar is not used in the footer, then the grounding conductor must be bonded to two grounds 6' apart.

4) Final Electric: Circuits checked for proper polarity, GFI's, Arc Fault Interceptors breakers, smoke and CO alarms and tamper proof receptacles checked.

PLUMBING INSPECTIONS

Rough In:

1) All supply and DWV lines located in slab must be inspected prior to slab being poured and shall be protected from expansion/contraction to prevent a rubbing action.

2) DWV pressure test; 10ft water column or 5-psi air test. Supply; 60-psi air test on copper or PVC lines, 100 psi on PEX lines.

3) Sill cocks; wall hydrants and hose bibs shall have back flow preventers. Hose bibs shall also be of the "frost free" type.

Final: All fixtures and drains to be operational.

MECHANICAL INSPECTIONS

Rough In: Performed prior to the Sheet Rock installation

1) All duct work in place, supply and return. **Statement of Energy Code Compliance HVAC Duct Sealing must be submitted prior to Rough In Inspection**

2) All vents in place: kitchen vent duct, bathroom vent ducted to outside.

- 3) Dryer exhaust vented to outside and properly labeled. Max. Length 25' with the following reductions; 2.5' for each 45 degree turn and 5' for each 90 degree turn
- 4) Manufacturer installation instructions for all appliances on site such as prebuilt fireplace units.
- 5) Clearances to combustibles will be checked.
- 6) Working clearances around equipment will be checked along with the proper installation of a work platform. i.e.: HVAC unit located in the attic, min. 24" wide. Floor in front of service panels min. 30"x30".
- 7) Attic access opening must be large enough to remove appliance without enlarging opening and must have vertical clearance without altering rafters, joists or trusses.
- 8) HVAC units located in attic must be installed in a drain pan of noncombustible material with a drain line to the outside.
- 9) All required pressure tests completed

Final Mechanical:

- 1) All appliances, such as heaters, furnaces, air handlers, etc., installed and in working order. . **If a dryer is not installed, the vent must be sealed off.**
- 2) All supply and return grills in place
- 3) Working clearances to be checked
- 4) Combustion air supply requirements to be checked.

GAS LINE

- 1) Piping/tubing in trench must be inspected prior to back filling
- 2) Piping /tubing going through footer, slab or foundation wall must be sleeved.
- 3) Minimum pressure for LP gas is 30 psig. If a larger test gauge is used, then 1/2 max. pressure of the gauge.
- 4) No dissimilar piping or tubing allowed. Separate shut off valve, located no more than 6' from appliances such as gas logs or prebuilt gas fireplaces
- 5) CSST is required to be bonded from the point of entry to the building back to the building-grounding electrode with a minimum of #4 copper

REQUIRED FOR MANUFACTURED HOME PERMIT

1. Zoning Approval

2. DAPIA approved Manufacturers installation instructions for the particular unit being installed.
DO NOT ACCEPT AN ENTIRE MANUFACTURERS INSTALLATION MANUEL FOR ALL UNITS. ONLY THE MANUEL FOR THIS PARTICULAR UNIT.

This must include:

- a. Footer detail, location and spacing
- b. Pier detail and spacing
- c. Clearance under home- minimum of 12"
- d. Perimeter support and manufactured piers
- e. Systems that are not pier and footing type must be designed by and inspected by an engineer.
- f. All permanent foundations must be designed and certified by an architect or engineer.
- g. Any piers over 67" high must be designed by an engineer.
- h. Ground anchoring detail and locations.
- i. DAPIA approved manufacturers installation instructions for optional equipment such as:
 - 1) AC and Heat Pumps
 - 2) Fireplaces and Woodstoves
 - 3) Appliance venting
 - 4) Cloths dryer exhaust duct system
 - 5) Crawl space ventilation

3. Copy of installers license

4. Verification of Trades license

REQUIRED AND ORDER OF INSPECTIONS FOR MANUFACTURED HOMES

The Manufacturer's installation instructions, erection instructions or approved construction plans detailing footer, pier, and tie down size and location, must be on site for inspection. Details must also be shown for all connections of the roof, marriage wall (s) and floor center girder.

These connections must be inspected prior to closing them in or covering them up. Failure to do so will require the connections be opened or uncovered so they may be inspected or to have a sealed report submitted from a Virginia Licensed Engineer to the Manufacturer stating compliance with the Manufacturers and DAPIA requirements.

1. Site Preparation and grading for drainage.
2. Footings prior to the placement of concrete.
3. Foundation or Piers and anchorage.
4. Exterior and interior close up (marriage wall inspection).
5. Installation of optional features.
6. Completion of sub trades. (Electrical, Plumbing, HVAC, Gas Line)
THESE MUST BE PERFORMED BEFORE THE SKIRT WALL OR SIKIRTING IS INSTALLED.
7. Skirt Wall
 - a) Grade under the manufactured home must be "crowned" minimum 1/2" per foot to prevent standing water.
 - b) Vapor Barrier must be installed under the unit.
 - c) Ventilation openings must be provided; 1sq. inch/ 1500 sq. feet of floor area; located on at least 2 opposite sides to provide cross-ventilation; be adjustable permitting them to be opened or closed depending on the climatic conditions.
 - d) Access opening minimum size; 18"x24". **Must be one opening. Removal of skirting panels is not acceptable.**
 - e) Dryer vents and combustion air inlets must pass through the skirt from the outside.
 - f) Any condensate lines from HVAC units and pressure relief lines from the water heater must terminate outside the skirting.
8. Final Inspection of all work ***

*****No Final Inspections will be performed until a report Certifying the installation work is complete and that:**

- The home has been installed in accordance with the manufacturers instructions
- Any installation design or instruction were prepared by a registered engineer or architect and have been approved by the manufacturer and the DAPIA and meets or exceeds requirements in part 24 CFR Part 3285.
- The installation of the home has been inspected and the inspector has verified the home meets all requirements
- Plumbing Tests conform to Article 3280.612
- Electrical Tests conform to Article 3280.803
- All installation defects have been corrected.