

# LANCASTER COUNTY – REVISED PERMIT/PUBLICATION FEES

## Effective July 1, 2019

### Building

Minimum Fee—Any Permit	\$50
Refund Processing Fee	\$25
Reinspection fee when not ready	\$100
New Construction/Additions	\$.12 per square foot (Residential) \$.15 per square foot (Commercial)
Renovations (Materials & Labor)	\$50 plus \$2 per \$1000 (Residential) \$5 per \$1000 (Commercial)
Condition Crawl Space	\$50
Accessory Buildings	same as new construction
Manufactured Homes	\$200 Single or double wide
Mobile Offices	\$200
Demolition	\$25
Amusement Device	\$15 per ride
Signs	\$30 non-illuminated \$50 illuminated
Tent	\$50
Chimney/Flue	\$50
Fire Suppression System	\$.03 per sq ft
Underground Storage Tanks	\$50 per tank
Electrical Service	\$50
<u>Electrical</u> –Residential	\$50
-Commercial	\$50 plus \$5 per \$1000
<u>Plumbing</u> - Residential	\$50
-Commercial	\$50 plus \$5 per \$1000
<u>Mechanical</u> -Residential	\$50
-Commercial	\$50 plus \$5 per \$1000
Septic-Safe, Adequate & Proper Review	\$75
(Distribution box and tank top must be exposed for inspection)	
Swimming Pools	\$75 above, \$150 in-ground
Appeal to Building Code	
Board of Appeals	\$250
Moving a Structure	\$.03 per square foot
Reinspections	\$50
Permit Renewal	\$50
After-the-Facts	double original
Bulkheads/Piers/Rip Rap/Groins	\$200
<u>Site Plan</u> -Residential	\$50
-Commercial	\$100
Erosion and Sediment Control Plan	\$100 first acre, \$50 each additional acre
Erosion and Sediment Control Agreement	\$50
Stormwater Management Plan	\$100
Environmental Site Assessment	\$50
Subdivision	\$50 +\$20 per lot
Boundary Line Adjustment	no fee
<u>Communications Tower</u>	
-Co-location on existing tower	\$2000
-New tower	\$5000

### Zoning

Zoning	\$50
Special Exception	\$400
-Internet Antenna/Pole	\$200
-Manufactured Home	no fee
Rezoning	\$500
Ordinance Amendment	\$300
<u>Zoning Appeals</u>	
Request for Variance	\$400
(plus \$15 per adjoining property owner)	
Appeal Administrators Decision	\$400
<u>Bay Act Waiver</u>	\$300
<u>Wetlands</u>	
Wetlands-All	\$300
Permit Extension	\$100
Site Visit-Wetlands Delineation	\$50
<u>Publications</u>	
Comprehensive Plan	\$40
Code of Ordinances	\$40
Land Development Code	\$40
Monthly permits issued report	\$5
E-911 Address Assignment	no fee

*By Lancaster County Board of Supervisors*

Attest: Don G. Gill  
*Don G. Gill, County Administrator*

Adopted: September 28, 1989	Amended: October 26, 1989
Amended: February 22, 1990	Amended: September 20, 1990
Amended: October 25, 1990	Amended: November 29, 1990
Amended: August 26, 1993	Amended: January 25, 2001
Amended: December 28, 2005	Amended: May 29, 2008
Amended: October 30, 2008	Amended: June 24, 2010
Amended: December 30, 2010	Amended: June 27, 2019



# COUNTY OF LANCASTER

FOUNDED 1651 IN VIRGINIA

**LANCASTER COURTHOUSE  
8311 MARY BALL ROAD  
LANCASTER, VIRGINIA 22503**

**804-462-5129  
804-462-0031 (FAX)  
www.lancova.com**

BOARD OF SUPERVISORS  
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Ernest W. Palin, Jr., 2<sup>nd</sup> District  
Jason D. Bellows, 3<sup>rd</sup> District  
William R. Lee, 4<sup>th</sup> District  
Robert S. Westbrook, 5<sup>th</sup> District

Don G. Gill  
County Administrator

## **Erosion and Sediment Control (Land Disturbing Permit) Application (2018)**

*\* All fields must be completed and application must be accompanied by a full erosion and sediment control plan that meets state minimum standards as required by State and County Law or an Agreement in Lieu of Plan for single family residences on parcels recorded prior to July 1, 2004 and disturbing less than one acre in total development.*

### **Applicants Name**

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Legal Mailing Address (street-P.O./city/state/zip code):

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Phone Number/email address/contact:

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Tax Map ID # of parcel (s):

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Latitude (Decimal Degree): \_\_\_\_\_ Longitude(Decimal Degree): \_\_\_\_\_

### **Contractor Information**

Name:

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Address/Phone number(s)/email/contact:

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Contractor License # \_\_\_\_\_ exp: \_\_\_\_\_

Responsible Land Disturber # \_\_\_\_\_ exp: \_\_\_\_\_

### **Nature of work:**

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**ESC/CBPA/WORKSHEET: (answer each question)**

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1. Was this parcel created after July 1, 2004? Yes \_\_\_\_\_ No \_\_\_\_\_
  2. Is this parcel in a common plan of development of three lots or more? Yes \_\_\_\_\_ No \_\_\_\_\_  
*\*Any development on a parcel created after July 1, 2004 requires the creation and approval of a Virginia Stormwater Management Plan and Permit (VSMP).*
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3. Total square footage area of parcel \_\_\_\_\_
4. Current square footage of impervious cover development of parcel \_\_\_\_\_  
percent \_\_\_\_\_%
5. Proposed new square footage of impervious cover on parcel \_\_\_\_\_  
percent \_\_\_\_\_%
6. Total combined existing and proposed impervious cover \_\_\_\_\_  
percent \_\_\_\_\_%

*\* If the total impervious cover exceeds 16% percent, a Chesapeake Bay Act Site Plan will need to be developed by a Professional Engineer, which details the required nutrient and stormwater reductions through the use of structural BMP(s).*

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7. Has a wetland delineation been performed? Yes \_\_\_ No \_\_\_ (if no, answer 8 through 10)

8. What is the soil type in the proposed disturbed area? \_\_\_\_\_  
(*Othello, Dragston and Falsington* are Lancaster hydric soils)

9. What is the dominant plant type? \_\_\_\_\_  
Trees \_\_\_\_\_  
Shrubs \_\_\_\_\_  
Ground cover \_\_\_\_\_

10. What is the hydrology (water regime) like? wet \_\_\_\_\_ well drained \_\_\_\_\_  
(*A wet area has standing water for long periods of time between rains*)

*\* If the development or disturbance will impact non-tidal wetlands in any way a permit may be required from the Virginia Department of Environmental Quality or the Army Corps of Engineers.*

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11. Is the parcel(s) located in a FEMA mapped flood zone? Yes \_\_\_\_\_ No \_\_\_\_\_

12. Is the proposed disturbed area in a FEMA mapped flood zone? Yes \_\_\_\_\_ No \_\_\_\_\_

13. Is there a perennial stream or tidal waters on the parcel(s)? Yes \_\_\_\_\_ No \_\_\_\_\_
  - a. Has a licensed Surveyor or Professional Engineer located and marked the 100' RPA buffer for further protection? Yes \_\_\_\_\_ No \_\_\_\_\_  
*\*If disturbance in the buffer is required, fill out a Water Quality Impact Assessment/Landscape Plan Agreement and submit for approval.*
  - b. If there is no prior approved 100' buffer footprint, has the buffer been flagged and signed for damage avoidance during construction?

**Directions to project site: (including route numbers)**

**Cost of Job:** \_\_\_\_\_

**Square footage disturbed:** \_\_\_\_\_

**Approximate start date:** \_\_\_\_\_

**Planned completion date:** \_\_\_\_\_

**State Stormwater Permit coverage:** \_\_\_\_\_

AGREEMENT IN LIEU OF PLAN FOR SINGLE FAMILY RESIDENCES (for qualifying projects)

In lieu of submitting an Erosion and Sediment Control Plan for the construction of a single family dwelling, I agree to comply with the requirements of the Erosion and Sediment Control Program Administrator. Such requirements are based upon the conservation standards contained in the Lancaster County Erosion and Sediment Control Ordinance and the Virginia Erosion and Sediment Control Handbook and represent the practices necessary to provide adequate control of erosion and sedimentation.

As a minimum, permanent or temporary soil stabilization shall be applied to denuded areas within seven days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven days to denuded areas that may not be at final grade but will remain undisturbed for longer than 30 days. Permanent stabilization shall be applied to areas that are to be left undisturbed for more than one year. Permanent vegetation shall not be considered established until a ground cover is achieved that, in the opinion of the Erosion and Sediment Control Administrator or designee, is uniform, mature enough to survive and will inhibit erosion.

Where construction vehicles access public paved roads, provision shall be made to minimize the transport of sediment onto the public paved surface. Where sediment is transported onto a public road surface, the road shall be cleaned thoroughly at the end of each day. Sediment shall be transported to a sediment control disposal area. Street washing shall be allowed only after sediment is removed in this manner.

All sediment barriers and other measures intended to trap sediment shall be constructed or installed as a first step in any land disturbing activity and shall be made functional before upslope land disturbance takes place. All temporary protection and stabilization measures must be maintained as provided for in the Virginia Erosion and Sediment Control Handbook until all denuded areas have been permanently stabilized. All downslope areas shall have sediment trapping facilities as well as any other erosion and sediment control measures needed.

I further understand that failure to comply with such requirements within three working days following notice by the representatives of Lancaster County could result in citation for violation of the Lancaster County Erosion and Sediment Control Ordinance.

I further agree to grant the right of entry, for the inspection of the aforementioned erosion and sediment stabilization requirements to employees of Lancaster County, representing the Erosion and Sediment Control Administrator.

Building Permit # \_\_\_\_\_ E&S Permit # \_\_\_\_\_

Signature of Property Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
Print name: \_\_\_\_\_

Signature or Person Responsible for Erosion and Sediment Control: \_\_\_\_\_  
Date: \_\_\_\_\_

Printed name of Person Responsible for Erosion and Sediment Control: \_\_\_\_\_

Approved by : \_\_\_\_\_ Date: \_\_\_\_\_

Site Sketch, AERIAL VIEW: (TO SCALE)

PROFILE VIEW (TO SCALE)

## ORDER OF INSPECTIONS

- 1) Footing
- 2) Foundation/ Projection/Floor Joist
- 3) Framing. Rough in Plumbing, Mechanical and Electrical can be done at the same time as this.
- 4) Housewrap
- 5) Insulation/Interior Framing. All rough in inspections must be completed prior to this inspection.
- 6) Drywall
- 7) Final. At the approved completion of this inspection, in the case of additions and new occupied structures, a Certificate of Occupancy, CO, will be issued.

## BUILDING INSPECTIONS

1) Footing: 18" deep, min. 16" wide, min. 8" concrete for one story. Footer must not contain loose material, water or tree roots. In special circumstances, the footer design may have to be sealed by an engineer. **If rebar is placed in the footer, then the electric grounding conductor must be electrically bonded to the rebar. (Uffer connection)**

2) Foundation: **IN FLOOD ZONES, AN ELEVATION CERTIFICATE OR VERIFICATION THAT THE TOP OF THE FIRST FINISHED FLOOR IS A MINIMUM OF 18" ABOVE THE BASE FLOOD ELEVATION MUST BE RECEIVED PRIOR TO SCHEDULING THE FOUNDATION/FLOOR JOIST INSPECTION.**

a. Foundation Vents, 1 sq. ft. / 150 sq.ft. of crawl space area. One vent within 3' of each corner.

b. Flood Vents, 1 sq. in./ 1 sq. ft. of crawl space area. Min. two openings on opposite sides and the opening 1' or less from grade.

c. Foundation walls below grade must be water proofed and inspected prior to backfilling.

d. Anchor Bolts, 1' from each corner then 6' o.c. and within 1' of each side of a butt joint in sill plate.

**\*\*\* Anchor Straps must be installed per the manufacturer's installation instructions. These instructions must be provided on site at the time of inspection\*\*\***

e. Termite Shield, UV resistant vinyl or plastic. **DO NOT USE ALUMINUM, COIL STOCK.**

**\*\*\*THE CHEMICALS NOW USED IN TREATED LUMBER HAVE BEEN FOUND TO BE EXTREMELY CORROSIVE TO FOUNDATION STRAPS, JOIST HANGERS, ALUMINUM FLASHING/TERMITE SHIELD AND FASTENERS. IT IS RECOMMENDED TO USE ONLY INDUSTRY APPROVED STRAPS, HANGERS AND FASTENERS\*\*\***

f. Block size. Minimum 6" block with 4" brick face. **\*\*\*Anchor bolts must be in a solidly grouted cell of the block.\*\*\***

g. Access door, min. 18"x 24". **IF THE HVAC UNIT IS LOCATED IN CRAWL SPACE, THE ACCESS DOOR MUST BE LARGE ENOUGH TO REMOVE THE UNIT THROUGH IT WITHOUT ENLARGING THE HOLE.**

h. Floor joist size, span, spacing and blocking. **DO NOT INSTALL SUBFLOOR.**

3) Framing: sub floor installed, walls and roof completely framed, sheathing and bracing completed. Penetrations sealed and Fire blocking installed if needed. Hurricane clips installed on trusses.

4) House wrap: Installed on exterior of house with "button nails"/ "button staples", all seams sealed with approved tape and all windows and doors taped sealed.

5) Insulation/Interior Framing: R 19 Floor, R 13 Walls, R 38 Ceiling or R 30 in a sloped ceiling. In sloped ceilings either the rafters will need to be sized larger or they may need to be furred down so that the insulation can be installed without compressing it. Windows installed. Windows in a hazardous location, in a tub enclosure, in a stairway, less than 18" from the floor surface and within 3' of the swing of a door must be safety glazed. All seams between Plates, Jack Studs, King Studs, Headers, and Corners must be sealed (caulked). It is strongly recommended that insulation no longer be used to fill the gaps around windows and doors, but to use a minimum expanding foam sealer.

6) Drywall: Most conform to the fastening requirements of the Residential Code and must be performed prior to mudding and taping.

7) Final: All prior inspections, life, safety and health issues have been addressed. Particular attention to egress requirements and smoke detectors, CO detectors. **Sewage operation permit, Approved water pot ability certification, Final Flood Elevation Certificate and Zoning requirements must be completed before the Final Inspection can be scheduled.**

### ELECTRICAL INSPECTIONS

- 1) Temporary service requires properly mounted meter base and panel, one 20-amp GFI protected circuit and one ground rod.
- 2) Rough In inspections: all branch circuits run, box fill checked, cables properly supported, panel box bonded, grounds and neutrals separated.
- 3) Service: Cables run to panel box from meter base and grounding conductor. If a rebar is not used in the footer, then the grounding conductor must be bonded to two grounds 6' apart.
- 4) Final Electric: Circuits checked for proper polarity, GFI's, Arc Fault Interceptors breakers, smoke and CO alarms and tamper proof receptacles checked.

### PLUMBING INSPECTIONS

Rough In:

- 1) All supply and DWV lines located in slab must be inspected prior to slab being poured and shall be protected from expansion/contraction to prevent a rubbing action.
  - 2) DWV pressure test; 10ft water column or 5-psi air test. Supply; 60-psi air test on copper or PVC lines, 100 psi on PEX lines.
  - 3) Sill cocks; wall hydrants and hose bibs shall have back flow preventers. Hose bibs shall also be of the "frost free" type.
- Final: All fixtures and drains to be operational.

### MECHANICAL INSPECTIONS

Rough In: Performed prior to the Sheet Rock installation

- 1) All duct work in place, supply and return. **Statement of Energy Code Compliance HVAC Duct Sealing must be submitted prior to Rough In Inspection**
- 2) All vents in place: kitchen vent duct, bathroom vent ducted to outside.

- 3) Dryer exhaust vented to outside and properly labeled. Max. Length 25' with the following reductions; 2.5' for each 45 degree turn and 5' for each 90 degree turn
- 4) Manufacturer installation instructions for all appliances on site such as prebuilt fireplace units.
- 5) Clearances to combustibles will be checked.
- 6) Working clearances around equipment will be checked along with the proper installation of a work platform. i.e.: HVAC unit located in the attic, min. 24" wide. Floor in front of service panels min. 30"x30".
- 7) Attic access opening must be large enough to remove appliance without enlarging opening and must have vertical clearance without altering rafters, joists or trusses.
- 8) HVAC units located in attic must be installed in a drain pan of noncombustible material with a drain line to the outside.
- 9) All required pressure tests completed

#### Final Mechanical:

- 1) All appliances, such as heaters, furnaces, air handlers, etc., installed and in working order. **. If a dryer is not installed, the vent must be sealed off.**
- 2) All supply and return grills in place
- 3) Working clearances to be checked
- 4) Combustion air supply requirements to be checked.

#### GAS LINE

- 1) Piping/tubing in trench must be inspected prior to back filling
- 2) Piping /tubing going through footer, slab or foundation wall must be sleeved.
- 3) Minimum pressure for LP gas is 30 psig. If a larger test gauge is used, then ½ max. pressure of the gauge.
- 4) No dissimilar piping or tubing allowed. Separate shut off valve, located no more than 6' from appliances such as gas logs or prebuilt gas fireplaces
- 5) CSST is required to be bonded from the point of entry to the building back to the building-grounding electrode with a minimum of #4 copper





# COUNTY OF LANCASTER

FOUNDED 1851 IN VIRGINIA  
LANCASTER COURTHOUSE  
8311 MARY BALL ROAD  
LANCASTER, VIRGINIA 22503

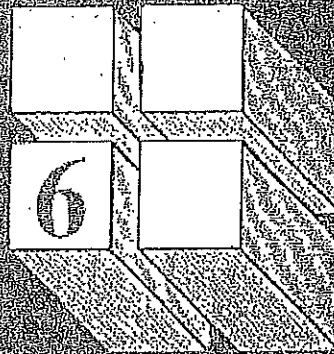
804-462-5129  
804-462-0031 (FAX)  
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## BUILDING INSPECTION REQUIREMENTS

**24 hour notice is necessary for any inspection.  
Building plans and Port-O-Johns must be on job site.**

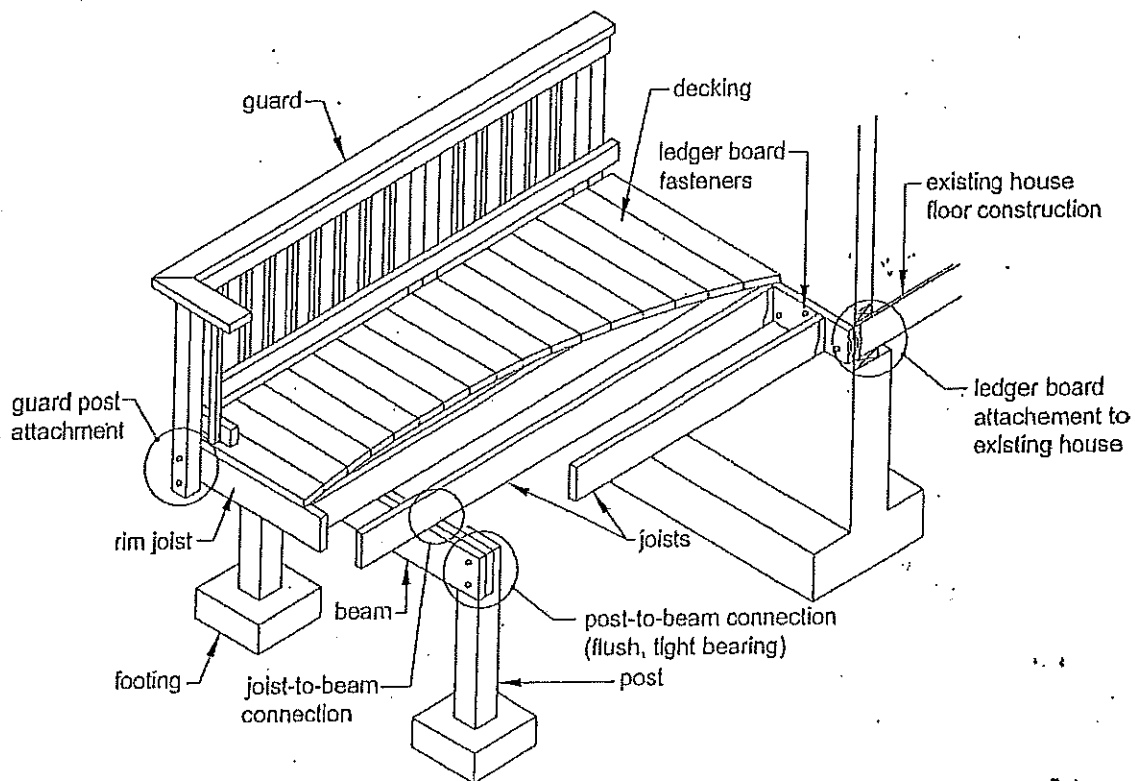
1. FOOTINGS & SLABS – all work to be inspected prior to placement of concrete. If required, the *Setback Verification Survey* must be forwarded to the building office at this time.
2. FOUNDATION/FLOOR JOISTS
3. ELECTRICAL, MECHANICAL, PLUMBING AND GAS LINE ROUGH-INS & FINALS
4. FRAMING
5. INSULATION
6. FINAL INSPECTION – *Health Department Operations Permit* and (if required) *Flood Elevation Certification* must be on file at the building department before a Certificate of Occupancy will be issued.

# Design for Code Acceptance



## Prescriptive Residential Wood Deck Construction Guide

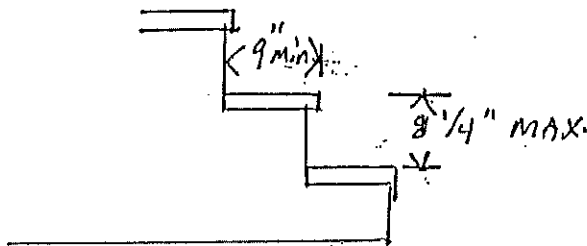
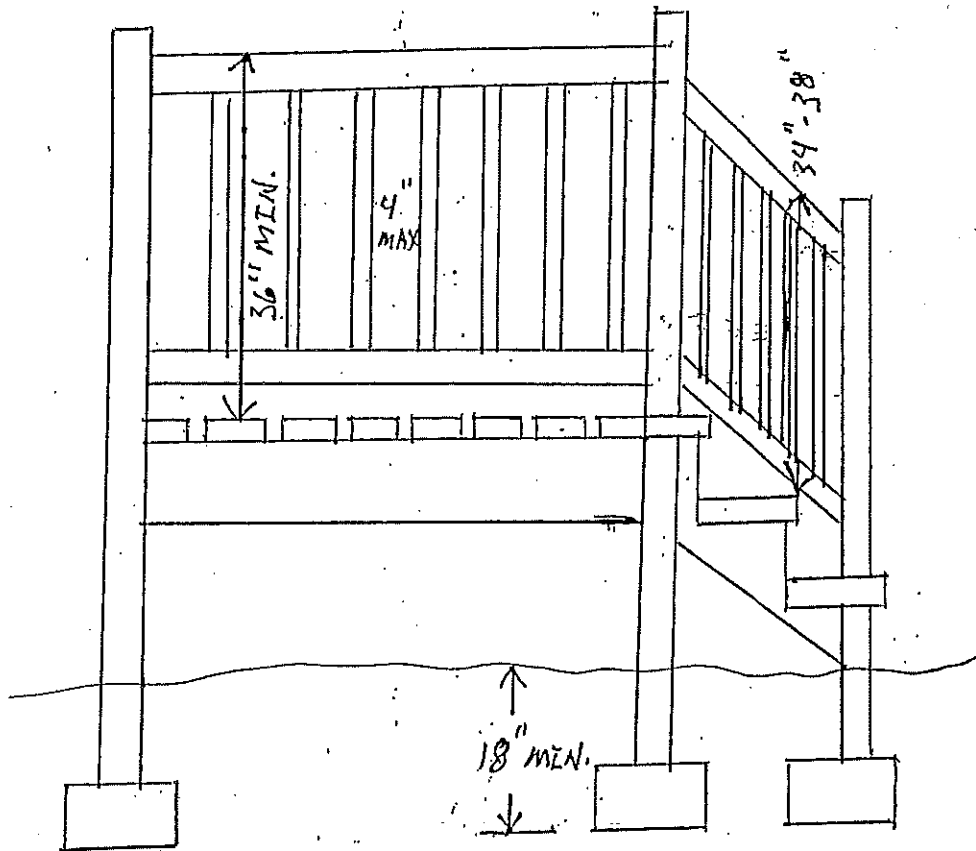
Based on the *2009 International Residential Code*



This document is subject to updates and revisions. To ensure that you always have the latest version of the document, follow this link to download a free copy of the most current *Prescriptive Residential Wood Deck Construction Guide*: <http://www.awc.org/Publications/DCA/DCA6/DCA6-09.pdf>.

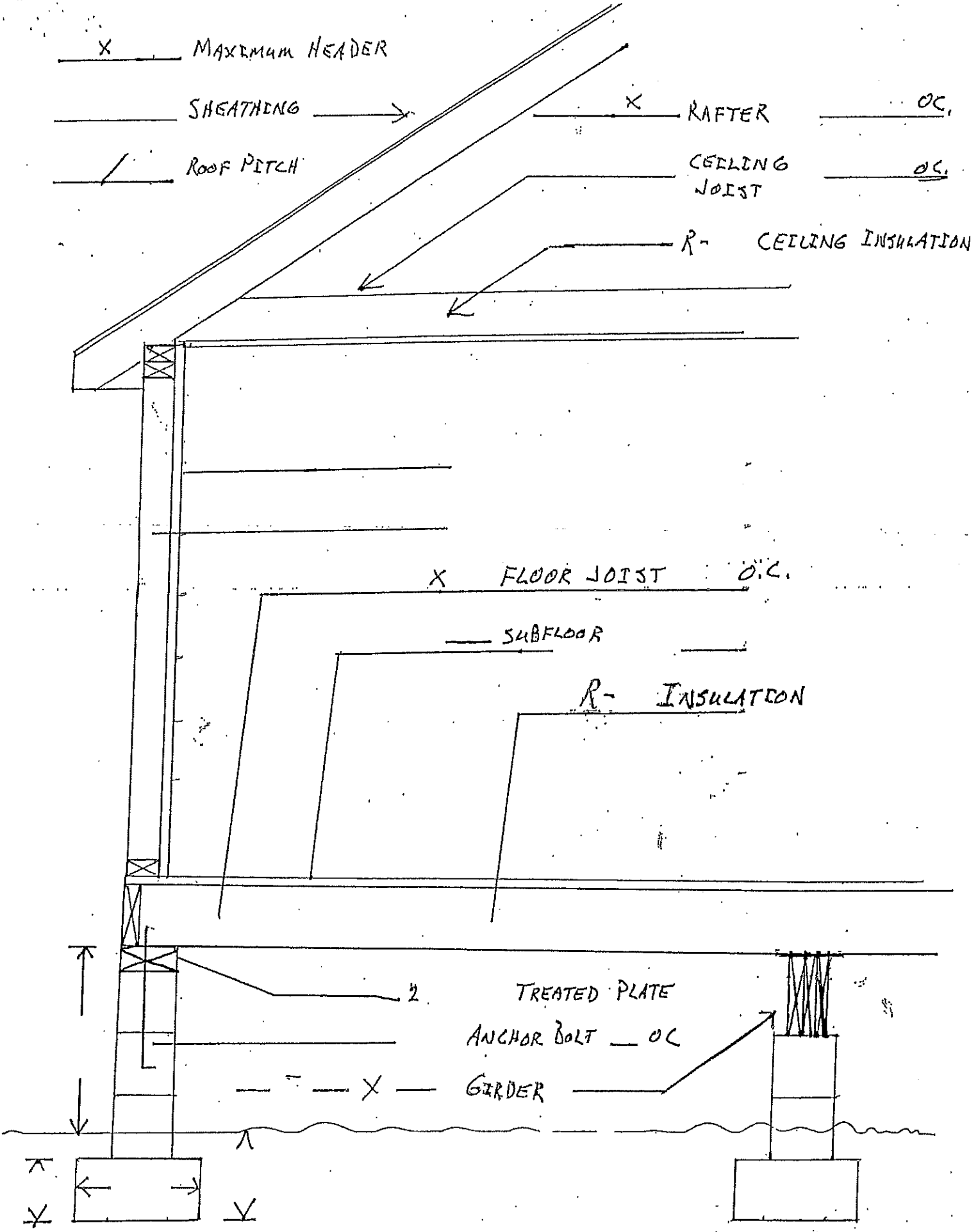
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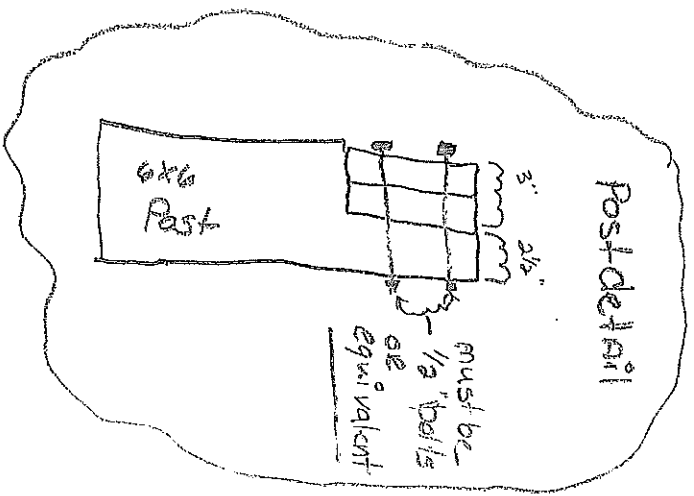
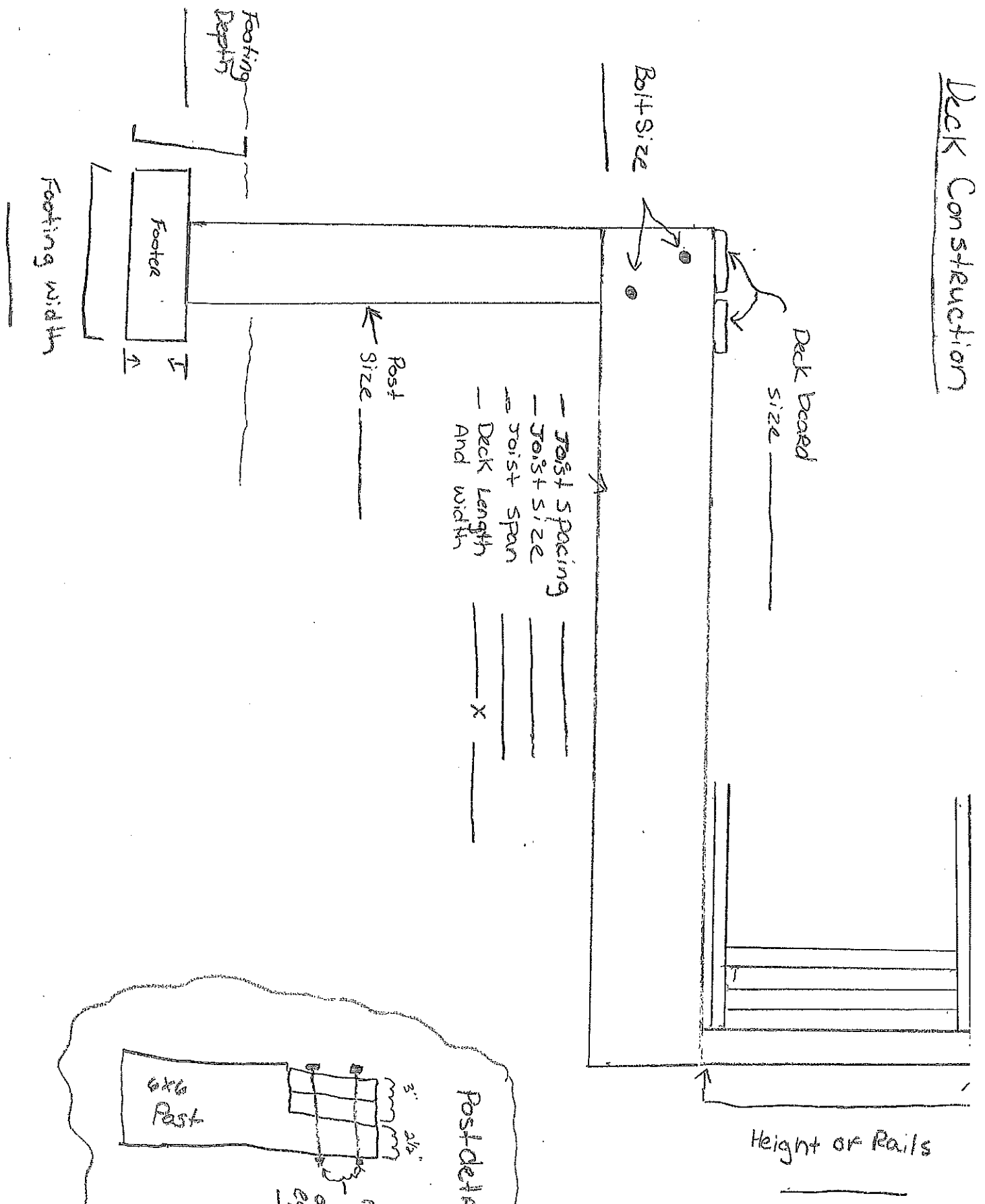


**Handrails:**

- 1) Height: Shall be not less than 34" and not more than 38" in height
- 2) Continuity: Shall be continuous from a point directly above the top riser to a point directly above the lowest riser. Handrail ends shall returned or terminate into a newel post. Handrails next to a wall shall have a space of not less than 1 1/2" between the handrail and the wall.
- 3) Grip:
  - a) Handrails with a circular cross section shall have a cross section of at least 1 1/4" and not greater than 2". If the handrail is not circular, the perimeter dimension shall be no less than 4" or greater than 6 1/4" with a maximum cross section of 2 1/4".
  - b) Handrails with a perimeter greater than 6 1/4" shall have graspable finger area on both sides of the profile, shall begin within 1/4" of the tallest point of the profile and have a depth of at least 5/16" within 7/8" below the widest portion of the profile. The minimum width of the handrail above shall be 1 1/4" to a maximum of 2 3/4".
- 4) Treads and Risers: Minimum Tread Depth is 9". Maximum Riser Height is 8 1/4" and must be closed. Open Risers are not permitted.
- 5) Guardrail: Shall be along open-sided walking surfaces, including stairs, ramps, landings, etc. located more than 30" measured vertically from the floor or grade below at any point within 36" horizontally. Insect screening is NOT considered as a guard. Guardrails shall not be less than 36" above the walking surface. Openings shall not allow the passage of a 4" sphere.



# Deck Construction





## WETLANDS – WHAT YOU SHOULD KNOW BEFORE YOU BUY OR BUILD

### U.S. ARMY CORPS OF ENGINEERS

#### BUILDING STRONG.

The U.S. Army Corps of Engineers (USACE) and the U.S. Environmental Protection Agency (USEPA) define wetlands as follows, “*Those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands generally include swamps, marshes, bogs, and similar areas.*”

Wetlands are areas that are covered by water or have saturated soils for long periods (a minimum of 14 consecutive days) during the growing season. Plants growing in wetlands are capable of living in saturated soil conditions for at least part of the growing season. Wetlands such as swamps and marshes are often obvious, but some wetlands are not easily recognized, often because they are dry during part of the year or “they just don’t look very wet” from the roadside. **Caution: Many wetlands lack both standing water and saturated soils during at least part of the growing season.**

There are no definitive maps of federally regulated wetlands or waterways. Therefore, it is often difficult to determine USACE’s jurisdiction based solely on an in-office review. In most cases, a site inspection is the only definitive means of determining the presence/absence and extent of wetlands, streams, and other conveyances of water that may be present on a parcel. The USACE consults the following in-office resources to evaluate the potential for wetlands or waterways that may be present on a site:

- **U.S. Geological Survey (USGS) quadrangle maps** – <http://www.usgs.gov/pubprod> which typically indicate wetland and streams with unique symbols shown on the map legend.
- **National Wetland Inventory (NWI) maps** - <http://www.fws.gov/wetlands> Use these maps with caution. Many federally regulated wetlands in Ohio are not on the NWI maps. The NWI maps are published by the U.S. Fish and Wildlife Service as habitat maps based on aerial photography. These maps are not ground verified and mapped boundaries may not be consistent with wetland boundaries established according to the USACE 1987 Wetland Delineation Manual and associated Regional Supplements. These maps were not developed for use as confirmation as to the presence/absence of federally (USACE) regulated wetlands. Further, the absence of a mapped wetland on the NWI maps cannot be interpreted to indicate that no wetlands exist within the non-mapped area. As indicated above, the only definitive information usually results from a site inspection.
- **Natural Resources Conservation Service (NRCS) web soil survey** which has replaced County Soil Surveys - <http://websoilsurvey.nrcs.usda.gov/app/HomePage.htm> This tool will help identify the presence of hydric soils or soils with hydric inclusions/components. Hydric soils exhibit poorly and/or very poorly drained characteristics that typically occur in wetlands.
- **Other On-line Resources**  
<http://maps.google.com>  
<http://bing.com/maps/>

U.S. ARMY CORPS OF ENGINEERS – BUFFALO DISTRICT  
1776 NIAGARA STREET, BUFFALO, NEW YORK 14207-3199  
[www.lib.usace.army.mil](http://www.lib.usace.army.mil)

January 2013

Aerial photography (various websites – see below)

Mapped indicators implying that wetlands or waterways may be present on a given parcel include, but are not limited to the following:

- Wetland or waterway symbols on the USGS maps
- Identified wetland types on the NWI or other wetland maps
- Hydric soils or partially-hydric (a non-hydric soil with hydric inclusions or components) indicated on the NRCS soil survey. Hydric soils are poorly and very poorly drained soils typically occurring in wetlands.
- Streams, drainageways, ponds or other water bodies indicated on the USGS map or NRCS Soil Survey.

If any of these indicators are mapped within a project site, the USACE recommends further investigation to determine if regulated wetlands or waterways exist and whether a Department of the Army permit may be required for the proposed work. It is not necessary that USACE personnel conduct the preliminary review of these resources. An individual can expedite the review process by conducting the initial review and compiling information which can be provided to the USACE in the event that further investigation is required. A review should be conducted on any land that is in an undeveloped “natural” state (e.g. wooded, scrub shrub, meadow, old field, etc.), that exhibits the mapped indicators noted above, or is not currently being cropped and designated as “Prior Converted” (PC) cropland by the U.S. Department of Agriculture/NRCS.

If your preliminary review indicates that wetlands and streams may be present on the parcel, you should engage an individual familiar with federal delineation, such as an environmental consultant, to conduct a formal delineation to identify all wetlands, streams, ditches, drainageways, etc. on the parcel. Delineation is the procedure used to flag and map the upland/wetland boundary and to identify and map all streams, drainages, other waterways/conveyances etc. on a parcel. Wetlands are required to be delineated in accordance with the 1987 Corps of Engineers Wetland Delineation Manual (Manual) and appropriate Regional Supplements to the Manual. Copies of the Manual and current versions of the Midwest Region or Northcentral and Northeast Regional Supplements can be obtained at:

[http://www.usace.army.mil/Missions/CivilWorks/Regulatory/ProgramandPermits/reg\\_supp.aspx](http://www.usace.army.mil/Missions/CivilWorks/Regulatory/ProgramandPermits/reg_supp.aspx)

After a wetland and waters delineation has been completed, a delineation report should be submitted to the USACE for review and verification. The report should contain a request that the USACE provide confirmation of the mapped location and boundaries of all aquatic resources identified and a request for determination of federal jurisdiction of the resources.

The delineation should be verified by the USACE prior to finalizing any project design for the site to ensure that no further modifications of project plans would be needed to comply with the 404(b)(1) Guidelines (Guidelines). These Guidelines require that all practicable steps are taken to avoid and minimize impacts to aquatic resources. These steps may include, but are not limited to, redesign of the project and consideration of alternative project sites that contain less or no aquatic resources.

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[www.lib.usace.army.mil](http://www.lib.usace.army.mil)

January 2013



# LANCASTER COUNTY, VIRGINIA

## Street Address Request Form

Date: \_\_\_\_\_

The Lancaster County Addressing Ordinance requires all occupied buildings to have a street address assigned. Builders of new homes or businesses are required to display the building number as a condition of the Certificate of Occupancy and may be required to provide this information to utility companies before services can be installed.

In order to establish a street address for a new residential or commercial building, please provide the information requested below and return this form to the Building Office at the time you apply for a building permit or any time prior to making arrangements for utility service.

This form is intended for use only with active, permitted construction activity or planned future site development. **Lancaster County does not assign street addresses to vacant or unimproved lots.**

Building Permit Number: \_\_\_\_\_ Tax Map Number: \_\_\_\_\_

Name of Applicant: \_\_\_\_\_

E-Mail Address: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

In the space below, provide a drawing of the building lot showing the proposed location of the house or primary structure, the approximate distance of the structure from the property lines, the location of the driveway and the named road or highway the driveway will access. In lieu of the drawing, you may substitute a copy of an existing site plan or survey plat showing the location of the proposed building and driveway. It is not necessary that this drawing be to scale.

**For Office Use Only:**

Address Assigned: \_\_\_\_\_ Date: \_\_\_\_\_